

SUSTAINABILITY AMENITIES NARRATIVE

Diana Place Multifamily Dwelling
249-259 Main Street | Nyack NY 10960

18 March 2020
S&Co. 1611

Introduction

The Diana Place project proposes the demolition of two existing structures that originated as single-family homes, and their replacement with a single, modular, multifamily building containing 26 dwelling units, including 4 alcove studios, 18 one-bedroom units and 4 two-bedroom units, and 33 parking spaces. In order to substantially reduce the building's footprint and to maximize the open space between Diana Place and the TFR zone to the south, the building is planned to be a combination of 3 and 4 stories high, but will not exceed the 40' height limit at any point. In addition to meeting the code requirements for affordable housing, the project proposes to implement sustainability amenities resulting in density bonus incentives.

Village of Nyack Zoning Code

§360-4.14/*Sustainability* of the Village of Nyack's Zoning Code states that its purpose is “...to promote the creation of a more sustainable community by incorporating the widespread establishment of green infrastructure and building practices in the design, construction and maintenance of buildings and site development. Such best practices are designed to use natural resources in a manner that enhances their usefulness for future generations, alleviate issues of stormwater management, enhance water quality and energy efficiency and generally promote the public health and welfare by enhancing the environmental and economic health of the Village.” The chapter goes on to state that the “incentives included in this chapter in the form of density bonuses provide an opportunity for the Village to tie such incentives to specific local public policy priorities. These incentives yield both short- and long-term dividends for developers and building owners and offset the costs of initial outlays. They also provide public benefits through cost reductions in managing stormwater, improved water and air quality, heat island reductions, energy conservation and reductions in carbon emissions.”

In order to encourage these stated objectives, §360-4.14(E) describes eight (8) “allowable sustainability amenities eligible for density or applicable FAR bonus under this chapter”. We have selected the following three amenities for consideration:

- (3) Exceeding the New York State Energy Code by 10%.
- (5) Provision of solar collection panels.
- (8) Repurposing of materials.

As defined in §360-4.14(D)(2), each of the selected amenities listed above “...shall be eligible for a ten-percent density bonus in the allowable number of residential units in the underlying zoning district with the exception of green roofs which shall be eligible for a twenty-percent residential density bonus due to the higher initial cost of implementation. The density bonus shall not exceed 40% of the allowable number of units in the underlying district excluding the affordable housing bonus under §120-1.” The three amenities listed above will, if approved, result in a net density increase of 30%, or five dwelling units. The implementation of the listed amenities is described in greater detail in the following pages.

Exceeding the New York State Energy Code by 10%

In order to exceed the values required by the New York State Energy Code by $\geq 10\%$, we will examine, pursue and implement a number of methods to increase the energy efficiency of Diana Place. These methods will include but may not be limited to the following:

- Provision of high-density insulation
- Installation of high-efficiency windows
- Installation of high-efficiency HVAC systems
- Use of a hot water on-demand system at each dwelling unit in lieu of traditional hot water tank heaters
- Use of LED lighting
- Provision of white roofs

It is important to note that the responsibility for the verification of this incentive rests with the Village's Building Department; we will work closely with the Building Department to ensure that their requirements are met.

Solar Collector Panels

With an unobstructed view to the southern sun, the proposed flat roof of Diana Place provides an optimal situation for the installation of solar collector panels. It is likely that up to 200 solar collector panels can be accommodated at the 5,100 SF high roof of Diana Place. A variance for this amount of solar collector panel coverage is required, since the Nyack Village Code §360.3-2 E.(10)(d)[1] states that solar energy collectors shall not exceed the lesser of 1,000 square feet in area or 33% of the area of the entire lot on which it is located. 33% of the 16,701 SF lot size = 5,511 SF; therefore, only 1,000 SF of solar energy collectors are permitted where 5,100 SF are available for same.

Two hundred panels will generate up to 70kW of renewable power. This renewable power will be used to offset the electrical power needs of the building for site lighting and common elements, thus reducing the need for power generated by regional fossil fuel- and nuclear-based power plants. Power generated by the solar collector panels that is in excess of the building's demand will be fed back into the Orange & Rockland electric power grid and will be *net metered* (a billing mechanism that credits solar energy system owners for the electricity they add to the grid) against that grid power and used during times when solar collector panel-generated power is insufficient to meet the building's demand.

The owners of Diana Place have successfully completed the installation of 51 solar collector panels generating up to 17.9kW in a similar situation at their property at 85 South Broadway in Nyack, for which a variance for additional square footage was also required.

Repurposing of Materials

The repurposing of materials as it applies to the Diana Place project involves the careful removal of selected building materials and fixtures in order to 1) donate them to recycling centers, which will sell the materials and fixtures for use in other projects or recycle them by breaking them down into their component parts and reusing those parts to create new materials for use on this or other projects, or 2) refurbish and reuse them in the new project. Either method will result in substantially less material used for landfill.

The materials scheduled for repurposing can be classified into five general categories:

- **Surfacing & masonry materials**, including asphalt and concrete paving; stone or concrete foundation/retaining walls, and slate roofing tiles.
- **Cabinets, appliances, fittings & fixtures**, including kitchen/bath cabinets and sinks/faucets; serviceable kitchen appliances; lighting fixtures; hot water heaters, and boilers, etc.
- **Metals**, including copper/cast iron piping and wiring.
- **Wood**, including framing lumber.
- **Architectural antiques & millwork**, including distinctive newel posts & balusters; door/window casings if unusual and in good repair; hardware including hinges, knobs, pulls & latches; original built-in cabinetry; beadboard or tongue-and-groove walls, floors & ceilings in serviceable condition, and wood windows & doors in good repair.

The proposed repurposing for each group is described below.

Surfacing & masonry materials

All asphalt and concrete paving on-site, as well as the stone or concrete foundation/retaining walls, will be removed separately and transported to a recycling facility such as *BraenStone* of Haledon NJ. Facilities like *BraenStone* crush these materials, converting them to recycled concrete aggregate (RCA) and reclaimed asphalt pavement (RAP). The crushed materials will in turn become the basis for new concrete and asphalt paving, which may be used at Diana Place or at other projects in the metropolitan region.

The slate roofing tiles will be removed intact to the extent possible. Whole slates will be either donated or sold to a company such as the *Vintage Slate Company* of Poultney VT or the *Durable Slate Company* of Columbus OH, both of whom will pick up the material and both of whom serve the northeastern US. Partial, broken or otherwise damaged slates will be bundled with the concrete recycling to become RCA used in the creation of new concrete.

Cabinets, appliances, fittings & fixtures

The relatively new kitchen and lavatory cabinets, along with their sinks and faucets, will be donated or sold to operations such as *Green Demolitions* of Fairfield NJ, *Habitat for Humanity ReStore* (several locations) or *Big Reuse* of Brooklyn NY. Kitchen appliances such as refrigerators, ranges and dishwashers, as well as serviceable hot water heaters and boilers, will be donated to groups such as *Goodwill*, *The Salvation Army* or *Vietnam Veterans of America*, who will in turn resell or donate them to those in need.

Metal

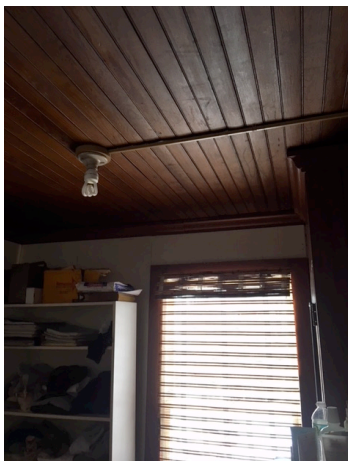
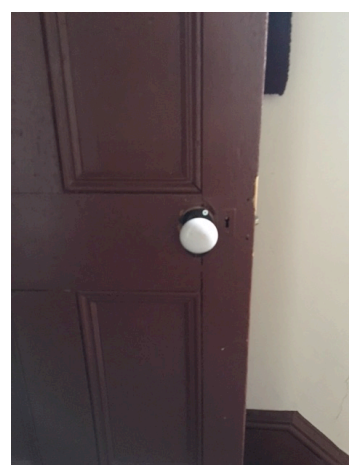
Metal, consisting primarily of copper/cast iron piping and copper wiring will be removed and transported to a facility such as *Teplitz* of Nanuet NY. Facilities like *Teplitz* function as both a retail scrap yard and also sell metals in bulk for recycling.

Wood

Wood beams and framing lumber will be salvaged and remilled for use as flooring in the main floor lobby and upper floor elevator lobbies at Diana Place. Beams and framing lumber not scheduled for reuse, as well as serviceable siding and sheathing, will be sold or donated to a lumber salvage concern such as *Recycling the Past* of Barnegat NJ.

Architectural antiques & millwork

Items of architectural interest in the existing houses (see images below) and in usable condition, including distinctive newel posts & balusters; unusual door/window casings; hardware including hinges, knobs, pulls & latches; original built-in cabinetry; beadboard/tongue-and-groove walls, floors & ceilings, and wood windows & doors, will be carefully removed and sold or donated to concerns specializing in their reuse such as *Demolition Depot/Irreplaceable Artifacts* of New York NY, *United House Wrecking* of Stamford CT, *Big Reuse* of Brooklyn & Queens NY and *Recycling the Past* of Barnegat NJ.



In closing, we look forward to satisfying the Planning Board's requirements for this project and to the construction and occupancy of Diana Place, an exciting, innovative project that we believe will enhance and magnify the Village of Nyack's desirability as a place to live.